

REQUEST FOR PROPOSALS

PROJECT: **SUMMER HILL TOWNHOMES SIDING AND TRIM - 2025**
5550 Union Hill Rd.
Lincoln, NE 68516

OWNER: Lincoln Housing Authority
5700 "R" Street
Lincoln, Nebraska 68505

ARCHITECT: Corby Renard, Development Coordinator
Lincoln Housing Authority
P. O. Box 5327, 5700 "R" Street
Lincoln, Nebraska 68505
Telephone: 402-326-2916
E-mail: corby@l-housing.com

DATE: September 15th, 2025

JOB NUMBER CI-2026-18

PROJECT DESCRIPTION

Project consists of removing, replacing, and painting trim and siding at 25 scattered locations in the Summer Hill Townhomes development.

Form of Contract shall be a Purchase Order issued by the Lincoln Housing Authority.

Proposal should be submitted by **Thursday, October 2nd, 2025, at 5:00 PM.**



NOTES

- 1 NUMBERS ON SITE PLAN NEAR TOWNHOMES CORRESPOND TO PICTURES AND DESCRIPTIONS ON SUBSEQUENT PAGES.
- 2 FIELD VERIFY ALL QUANTITIES AND CONDITIONS

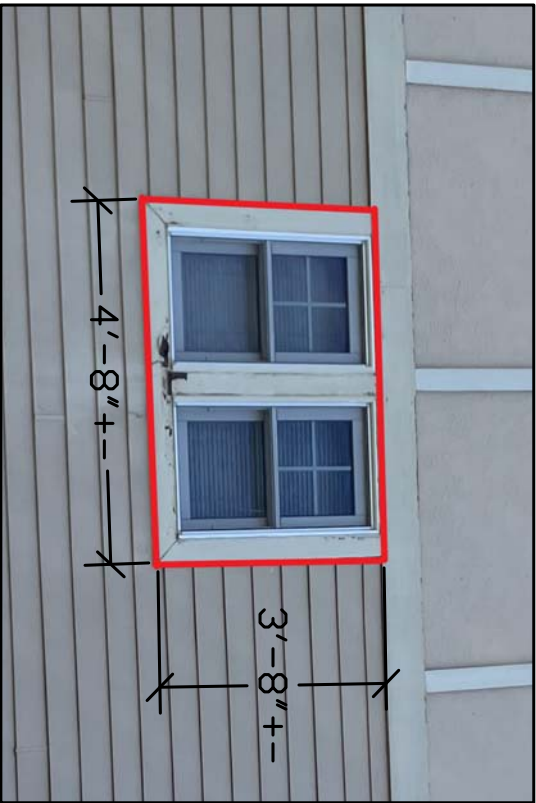
C1 SUMMER HILL SIDING & TRIM REPLACE 2025



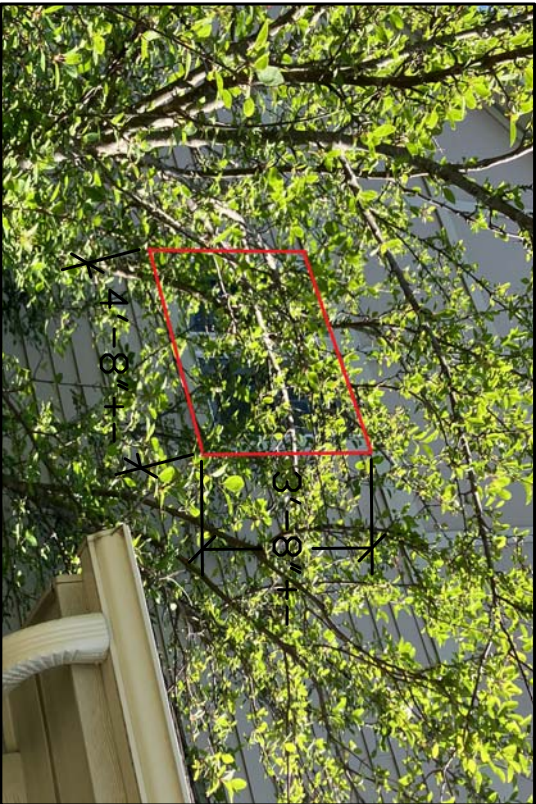
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JOB NO. C1-2026-18
DATE: 9/16/25
CORBY RENARD PROJ. COORD.

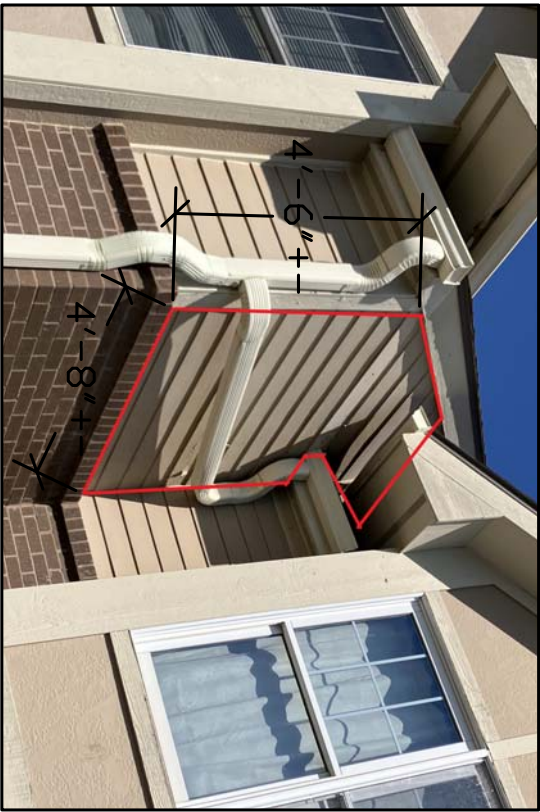
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SUMMER HILL SITE PLAN



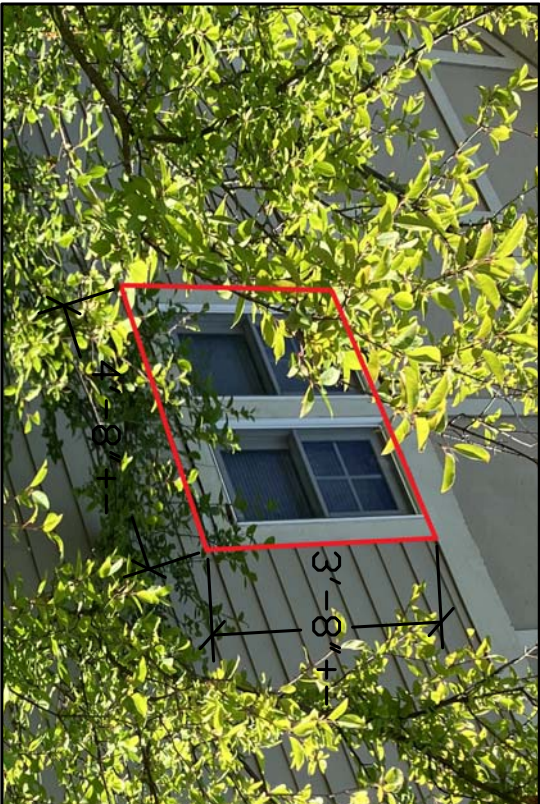
①1 7600 AZALEA – NORTH ELEVATION
REPLACE WINDOW TRIM-CAULK & PAINT



②2 7605 AZALEA – NORTH ELEVATION
REPLACE WINDOW TRIM-CAULK & PAINT



③3 7606 AZALEA – GABLE WALL
REPLACE AND PAINT DAMAGED SIDING



④4 7601 BAYBERRY-NORTH ELEVATION
REPLACE WINDOW TRIM-CAULK & PAINT

NOTES

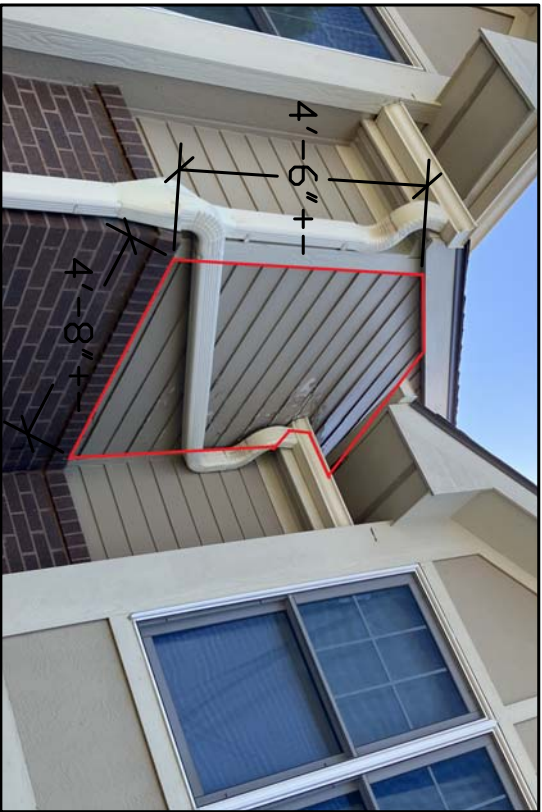
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C2 SUMMER HILL SIDING & TRIM REPLACE 2025

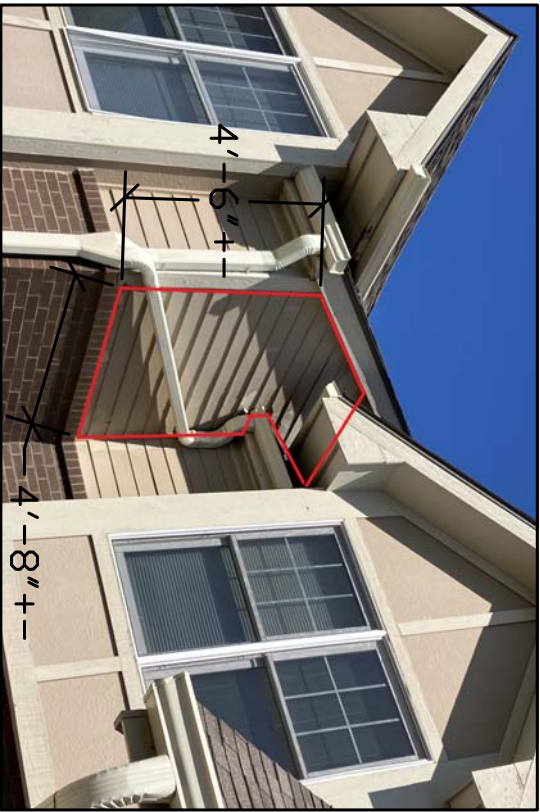
SUMMER HILL SITES

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05 7615 BAYBERRY- GABLE WALL
REPLACE AND PAINT DAMAGED SIDING



07 7618 DAPHNE-GABLE WALL
REPLACE AND PAINT DAMAGED SIDING



06 7602 DAPHNE-NORTH ELEVATION
REPLACE WINDOW TRIM & SMALL PIECE OF
SIDING SIDING BELOW-CAULK & PAINT



08 7603 DAPHNE-NORTH ELEVATION
REPLACE HALF PIECE OF SIDING WITH
FULL HEIGHT PIECE-CAULK & PAINT

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C3 SUMMER HILL SIDING & TRIM REPLACE 2025

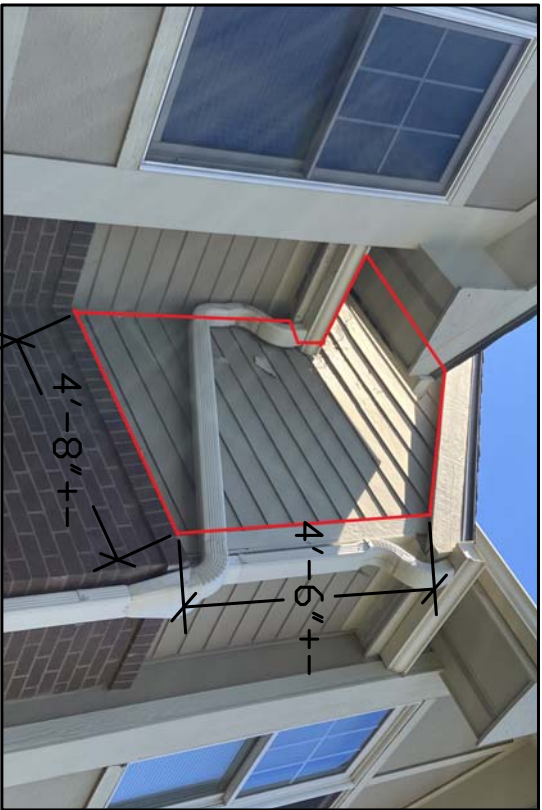
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SUMMER HILL SITES



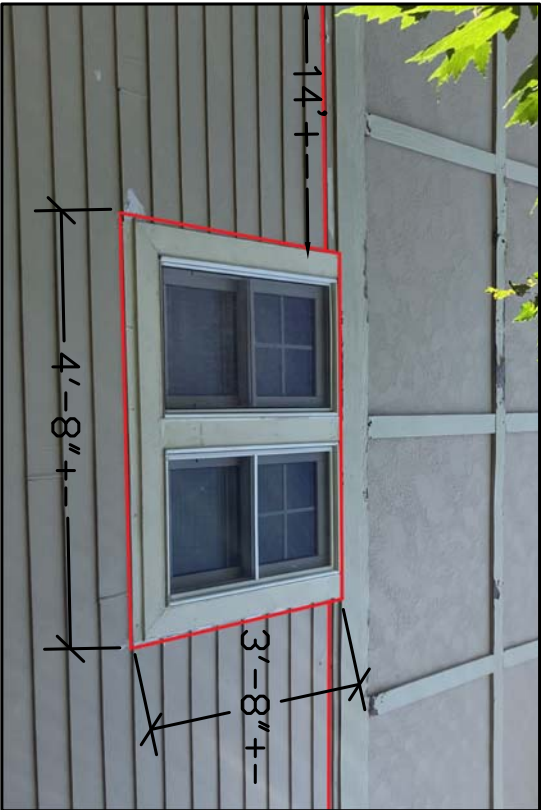
09 7611 DAPHNE – GABLE WALL
REPLACE & PAINT DAMAGED SIDING



10 7619 DAPHNE – GABLE WALL
REPLACE & PAINT DAMAGED SIDING



11 7627 DAPHNE – SOUTH ELEVATION
REPLACE WINDOW TRIM & HALF PIECE OF
SIDING WITH FULL PIECE – CAULK & PAINT



12 7600 JASMINE – NORTH ELEVATION
REPLACE WINDOW TRIM & HALF PIECE OF
SIDING WITH FULL PIECE – CAULK & PAINT

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C4 SUMMER HILL SIDING & TRIM REPLACE 2025



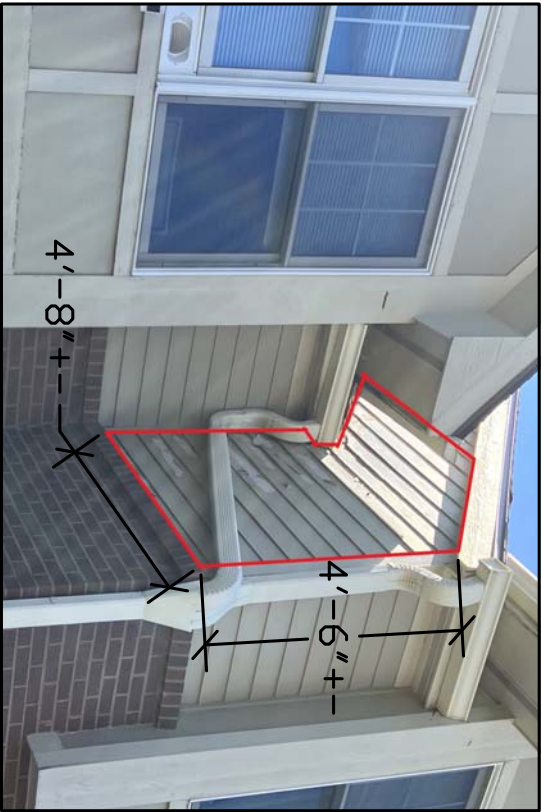
13 7624 JASMINE— SOUTH ELEVATION
REPLACE WINDOW TRIM & HALF PIECE OF
SIDING WITH FULL PIECE—CAULK & PAINT



14 7625 JASMINE—SOUTH ELEVATION
REPLACE WINDOW TRIM & HALF PIECE OF
SIDING WITH FULL PIECE—CAULK & PAINT



15 7617 JASMINE – GABLE WALL
REPLACE & PAINT DAMAGED SIDING



16 7609 JASMINE – GABLE WALL
REPLACE AND PAINT DAMAGED SIDING

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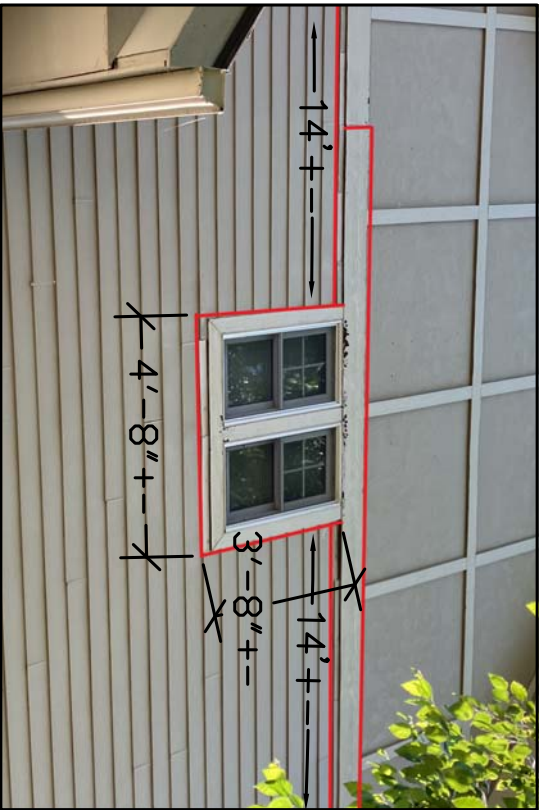


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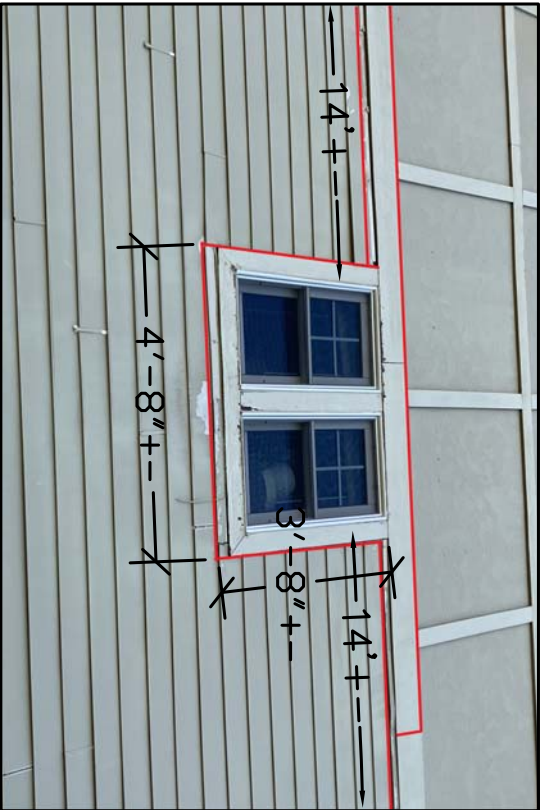
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SUMMER HILL SITES

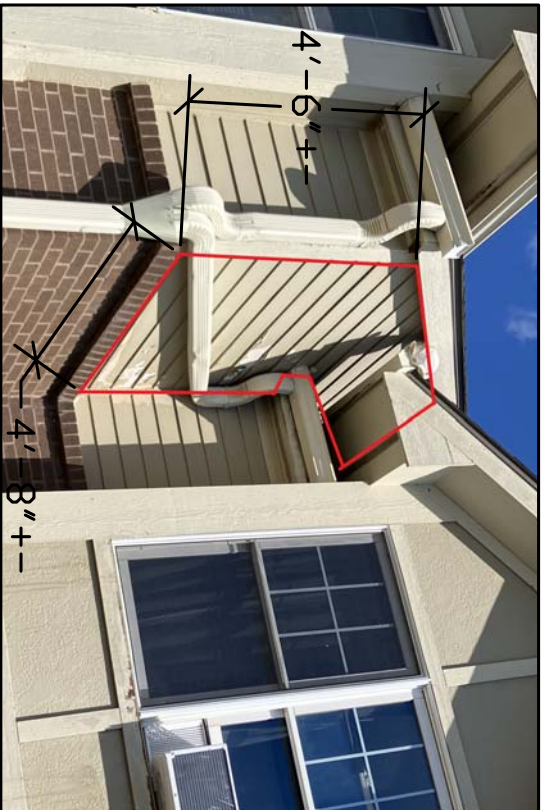
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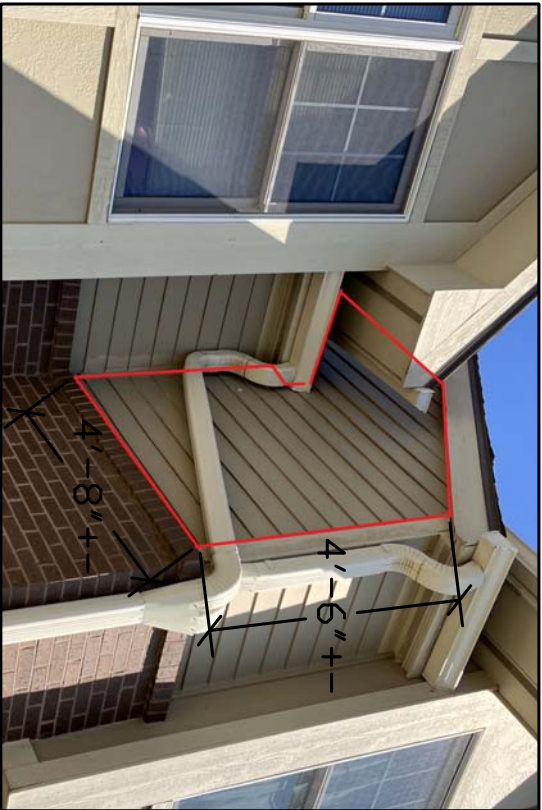
17 7601 JASMINE—NORTH ELEVATION
REPLACE TRIM, BAND BOARD & HALF PIECE
OF SIDING WITH FULL PIECE—CAULK & PAINT



18 7500 WISTERIA – NORTH ELEVATION
REPLACE TRIM, BAND BOARD, & HALF PIECE
OF SIDING WITH FULL PIECE—CAULK & PAINT



19 7506 WISTERIA – GABLE WALL – REMOVE,
REPLACE AND PAINT SIDING



20 7514 WISTERIA – GABLE WALL – REMOVE,
REPLACE AND PAINT SIDING

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C6 SUMMER HILL SIDING & TRIM REPLACE 2025

Lincoln Housing Authority

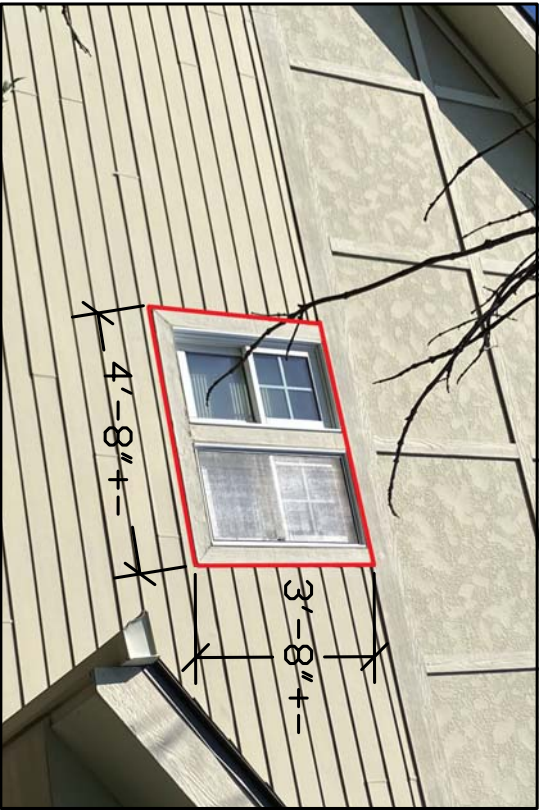
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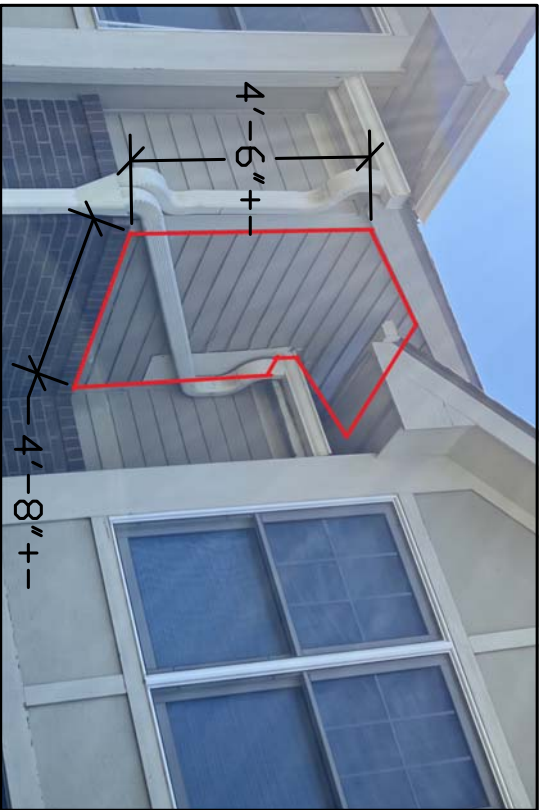
NOT TO SCALE
SUMMER HILL SITES



21 7520 WISTERIA – SOUTH ELEVATION
REPLACE &
PAINT TRIM & SIDING WITH FULL PIECE



22 7521 WISTERIA – SOUTH ELEVATION
REPLACE & PAINT WINDOW TRIM



23 7515 WISTERIA – GABLE WALL
REMOVE, REPLACE AND PAINT SIDING



24 7507 WISTERIA – GABLE WALL
REMOVE, REPLACE AND PAINT SIDING

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C7 SUMMER HILL SIDING & TRIM REPLACE 2025

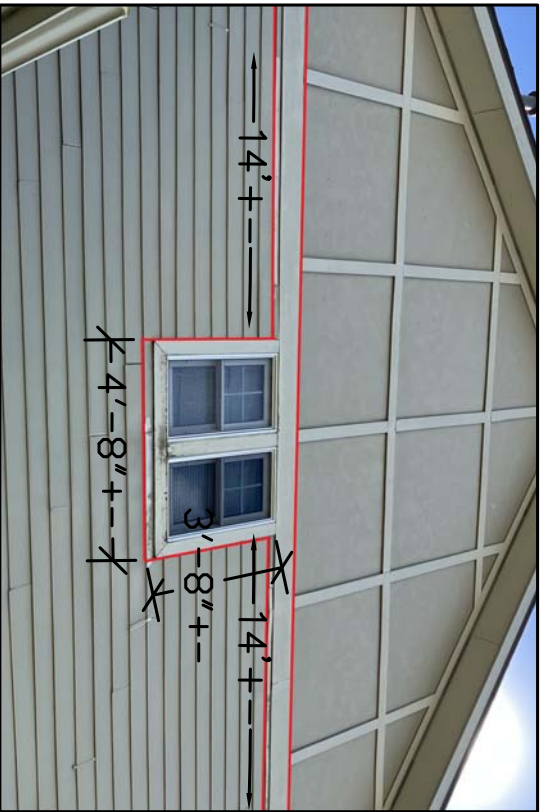


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NOT TO SCALE



②5 7501 WISTERIA– NORTH ELEVATION
REPLACE TRIM, BAND BOARD, & HALF PIECE
OF SIDING WITH FULL PIECE–CAULK & PAINT

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SUMMER HILL SITES

NOT TO SCALE

SECTION 01 00 00 - GENERAL

1. Proposal: Provide proposal on Contractor's standard form. Provide pricing to remove and replace existing siding and trim shown on the attached Site List and Drawings. Proposal shall reference this Request for Proposal document. Proposal should be submitted by **Thursday, October 2nd, 2025, at 5:00 PM.**
2. Review of Sites and Documents: Determine that the Work can be executed as shown on the Drawings and in the Specifications. Notify the Architect immediately of any discrepancies. If any errors or omissions are found in the Drawings or any other documents during bidding or construction, the Contractor shall notify the Architect and request clarification before proceeding with the Work. The Contractor shall field verify the square-footages described in the site list prior to submitting a proposal.
3. Bonds: **No bonds** are required for this proposal, either Bid Bond or Performance and Labor and Material Bond.
4. Insurance: **Before LHA will issue a Purchase Order**, the Contractor shall furnish LHA with a certificate of insurance showing the minimum insurance coverage as attached below is in force.
5. Payments to Contractor: An Invoice for payment shall be submitted to the Owner at the completion of all work.
6. Contractors Responsibility for Work: The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures, and for coordinating all portions of the Work under the Contract, unless Contract Documents give other specific instructions concerning these matters.

The Contractor shall enforce strict discipline and good order among the Contractor's employees and other persons carrying out the Contract. The Contractor shall not permit employment of unfit persons or persons not skilled in tasks assigned to them.

Protect the Work, adjoining property, and the public. The Contractor shall be responsible for any and all damage or injury due to his acts or neglect. Furnish all such repair work to rectify any damage at no extra cost to the Owner.

7. Tenant Notice: The Contractor shall notify affected tenants and the LHA Project Coordinator (Corby Renard at 402-326-2916) at least 48 hours prior to the commencement of the work at each site. LHA has preprinted notices available for the Contractor to use in notifying the tenants.

8. Construction Schedule: Coordinate with Owner's representative to schedule work. Complete in least practical amount of time. **All work is to be completed prior to March 1, 2026.** LHA would like the work done as soon as possible.
9. Temporary Facilities & Controls: Provide all temporary utilities, (water & electricity) as may be required. Provide barricades and signs as required to direct traffic around work. Provide temporary sanitary facilities for the use of all workmen.
10. Cleaning: Keep the sites clean. Clean up and remove work related trash immediately upon completion of each day's work. No debris shall be allowed to blow about on the site or on adjacent property.

END OF SECTION

SECTION 02 41 19 - SELECTIVE DEMOLITION

PART ONE - GENERAL

1.1 DESCRIPTION

Selective removal and subsequent off-site disposal of existing construction including, but not necessarily limited to:

- 1) Removal of existing Hardboard trim Section 06 20 00

1.2 JOB CONDITIONS

1.2.1 Occupancy: Owner's Tenants will occupy the buildings during selective demolition. Conduct selective demolition work in a manner that will minimize the need for disruption of Owner's Tenant's normal operations.

1.2.2 Condition of Structures: Owner assumes no responsibility for actual condition of items to be demolished. Conditions existing at time of bidding will be maintained by Owner insofar as practicable.

PART TWO - PRODUCTS

2.1 ENVIRONMENTAL CONTROLS

Use suitable methods to limit dust and dirt rising and scattering in air to lowest practical level. Comply with governing regulations pertaining to environmental protection.

2.1 DEBRIS REMOVAL CONTAINERS

Use dump trucks or dump trailers to collect and haul away removed materials. Removal containers are to be removed at the end of each day's work and may not be left on site overnight. Roll-offs are not acceptable debris removal containers.

PART THREE - EXECUTION

3.1 INSPECTION

Prior to all work of this Section, inspect areas in which work will be performed. Photograph existing conditions of structure surfaces, equipment, or surrounding properties that could be misconstrued as damage resulting from selective demolition work; file with Architect prior to starting work.

3.2 PREPARATION

3.3 DEMOLITION

3.3.1 Scheduling: Carefully coordinate removal of existing items with installation of new work so that removal and installation can be completed in the shortest practical time and building can be repaired prior to any weather damage.

3.3.2 Hardboard trim: Remove existing Hardboard trim from flat panels located below windows on designated buildings.

3.4 CLEANUP

3.4.1 Disposal of Demolished Materials: Remove debris, rubbish, and other materials resulting from demolition operation from building site. Transport and legally dispose off site. If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws, and ordinances concerning removal, handling, and protection against exposure or environmental pollution. Burning of removed materials is not permitted on project site.

3.4.2 Final Cleanup: Upon completion of demolition work, remove tools, equipment, and demolished materials from site.

END OF SECTION

SECTION 07 46 06 – FIBER CEMENT SIDING

PART ONE - GENERAL

1.1 DESCRIPTION

Provide and install all fiber cement trim and siding, including nails, bolts, screws and other hardware, and all other items needed for the replacement of water damaged, decorative flat panel trim as specified herein but not specifically described in other Sections of these Specifications

1.1.1 Work included:

- a. Exterior standing and running trim
- b. Exterior fiber cement siding

1.1.2 Related work described elsewhere:

- a. Removal of existing materials: Section 02 41 19
- b. Rough Carpentry: Section 06 10 00
- c. Joint Sealants Section 09 20 00
- d. Painting Section 09 90 00

1.2 QUALITY ASSURANCE

1.2.1 Qualifications of workmen: Provide sufficient workmen during execution of this portion of the Work, and who shall be thoroughly familiar with the type of construction involved and the materials and techniques specified.

1.2.2 Standards: Comply with all pertinent codes and regulations, and with the standards listed in this Section.

1.2.3 Conflicting requirements: In the event of conflict between pertinent codes and regulations and the requirements of the referenced standards or these Specification, the provisions of the more stringent shall govern.

1.3 SUBMITTALS

1.3.1 General: Comply with the provisions of Section 01 33 01.

1.3.2 Product data: Submit manufacturer's descriptive literature indicating material composition, thickness, and sizes.

1.4 PRODUCT HANDLING

1.4.1 Protection: Use all means necessary to protect all materials before, during, and after delivery to the job site, and to protect the installed

work and materials of all other trades. Keep materials dry during delivery and storage. Protect against exposure to weather and contact with damp or wet surfaces. Stack and provide air circulation withing stacks. Protect all metal products with adequate waterproof outer wrappings.

- 1.4.2 Replacements: In the event of damage, immediately make all repairs and replacements necessary to the approval of the Development Coordinator and at no additional cost to the Owner.

PART TWO - PRODUCTS

- 2.1 **MANUFACTURERS**: Subject to compliance with requirements, provide products by one of the following:

1. Fiber Cement Trim:
 - a. James Hardie Building Products.
2. Fiber Cement Shingle Siding:
 - a. James Hardie Building Products
3. Fiber Cement Panels
 - a. James Hardie Building Products

2.2 MATERIALS

All materials shall meet or exceed the following, unless otherwise specifically approved in advance by the Development Coordinator:

- 2.2.1 **Fiber Cement Board General**:
Cement and cellulose fiber formed under high pressure into boards with integral surface texture; complying with ASTM C 1186 Type A Grade II; machined edges; for nail attachment
1. Surface Burning Characteristics: Flame spread index of 0, smoke developed index of 6, maximum; when tested in accordance with ASTM E 84 (Class I/A)
 2. Flammability: Noncombustible, when tested in accordance with ASTM E 136.
 3. Flexural Strength: At least 1450 psi when in equilibrium condition, and at least 1015 psi when in wet condition,m tested in accordance with ASTM C 1185.
 4. Water Vapor Transmission: Less than 7.0 perm-inch, when tested in accordance with ASTM E 96
 5. Freeze Thaw Resistance: At least 80 percent flexural strength retained, when tested in accordance with ASTM C 1185.
 6. UV Resistance: No cracking, checking, or erosion, when tested for 2000 hours in accordance with ASTM G155 (or G 26)
 7. Water Tightness: No water droplets on underside, when tested in accordance with ASTM C 1185

- 2.2.2 Horizontal Siding:
 - 1. Thickness: 1/4 inch, actual
 - 2. Length: 48 inches actual
 - 3. Width: 15 1/4 inch, actual
 - 4. Style: Match existing
 - 5. Finish: Factory Sealed
- 2.2.3 Panels:
 - 1. Thickness: 5/16 inch, actual
 - 2. Length: 120 inch, actual
 - 3. Width: 48 inch, actual
 - 4. Style: Match Existing
 - 5. Finish: Factory Sealed
- 2.2.4 Trim:
 - 1. Thickness: 1" inch, actual
 - 2. Length: 144 inch, actual
 - 3. Widths: 3 1/2, 5 1/2, 7 1/4, 9 1/4, 11 1/4 inches, actual
 - 4. Style: Match Existing
 - 5. Finish: Factory Sealed
- 2.2.3 Accessories:
 - 1. Joint Sealants: See Section 07 92 00

All other materials not specifically described but required for a complete and proper installation as indicated on the Drawings, shall be new, suitable for intended use, and subject to the approval of the Development Coordinator.

PART THREE - EXECUTION

3.1 INSPECTION

Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to the proper and timely completion of the Work. Do not proceed until unsatisfactory conditions have been corrected.

3.2 WORKMANSHIP

3.2.1 General: All Siding, trim and panel installation shall produce joints true, tight, and well nailed, with all members assembled in accordance with the Drawings and with all pertinent codes and regulations. Set siding work accurately to required levels and lines, with members plumb and true.

3.2.2 Install in accordance with manufacture's instructions and drawing details. Read warranty and comply with all terms necessary to maintain warranty coverage. Install within conditions stated in model code evaluation report applicable to location of project. Use trim details indicated on drawings.

Touch up all field cut edges before installing. Pre-drill nail holes if necessary to prevent breakage.

3.3 CLEANING-UP

Keep the premises in a neat, safe, and orderly condition at all times during execution of this portion of the Work, free from accumulation of sawdust, cut ends, and debris.

END OF SECTION

SECTION 07 92 00 – JOINT SEALANTS

PART ONE - GENERAL

1.1 DESCRIPTION

Provide and apply all joint sealants and all other items needed for the application of joint sealants as specified herein but not specifically described in other Sections of these Specifications.

- 1.1.1 Exterior joints in the following vertical surfaces and horizontal nontraffic surfaces:
- a. Joints between trim cement board panels.
 - b. Joints between trim pieces.
 - c. Other joints indicated.

1.2 QUALITY ASSURANCE

- 1.2.1 Qualifications of workmen: Provide sufficient workmen and supervisors who shall be present at all times during execution of this portion of the Work, and who shall be thoroughly familiar with the type of construction involved and the materials and techniques specified.

- 1.2.2 Standards: Comply with all pertinent codes and regulations, and with the standards listed in this Section.

- 1.2.3 Source Limitations: Obtain each type of joint sealant through one source from a single manufacturer.

- 1.2.4 Project Conditions: Do not proceed with installation of joint sealants under the following conditions :
- a. When ambient and substrate temperature conditions are outside limits permitted by joint—sealant manufacturer or are below 40 deg F (5 deg C)] .
 - b. When joint substrates are wet.
 - c. Where joint widths are less than 1/4 inch (6 mm) or less than those allowed by joint—sealant manufacturer for applications indicated.
 - d. Contaminants capable of interfering with adhesion have not yet been removed from joint substrates.

1.3 SUBMITTALS

- 1.3.1 General: Comply with the provisions of Section 01 33 01.

- 1.3.2 Product data: Manufacturer' s color charts consisting of strips of cured sealants showing the full range of colors available for each product exposed to view.

PART TWO - PRODUCTS

2.1 MATERIALS

All materials shall meet or exceed the following, unless otherwise specifically approved in advance by the Architect:

- a. Provide elastomeric joint sealants that establish and maintain watertight and airtight continuous joint seals without staining or deteriorating joint substrates.
- b. Provide joint sealants, backings, and other related materials that are compatible with one another and with joint substrates under conditions of service and application, as demonstrated by sealant manufacturer, based on testing and field experience.

2.2 MANUFACTURES

a. Sealants:

1. Tremco: Vulkem: www.tremcosealants.com
2. Bostik, Inc: www.bostik.com
3. GE Silcones: www.gesilicones.com
4. Pecora Corporation: www.pecora.com
5. Substitutions: See Section 01 60 01

2.3 OTHER MATERIALS

All other materials not specifically described but required for a complete and proper installation as indicated on the Drawings, shall be new, suitable for intended use, and subject to the approval of the Architect.

PART THREE - EXECUTION

3.1 INSPECTION

Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to the proper and timely completion of the Work. Do not proceed until unsatisfactory conditions have been corrected.

3.2 JOINT SEALANT APPLICATION

Comply with joint-sealant manufacturer's written installation instructions for products and applications indicated, unless more stringent requirements apply.

- 3.2.1 Sealant Installation Standard: Comply with recommendations in ASTM C 1193 for use of joint sealants as applicable to materials, applications, and conditions indicated.

- 3.2.2 Proven techniques: Install sealants using proven techniques that comply with the following and at the same time backings are installed:
- a. Place sealants so they directly contact and fully wet joint substrates.
 - b. Completely fill recesses in each joint configuration.
 - c. Produce uniform, cross—sectional shapes and depths relative to joint widths that allow optimum sealant movement capability.

- 3.2.3 Tooling of Sealants: Immediately after sealant application and before skinning or curing begins, tool sealants according to requirements specified below to form smooth, uniform beads of configuration indicated; to eliminate air pockets; and to ensure contact and adhesion of sealant with sides of joint.
- a. Remove excess sealant from surfaces adjacent to joints .
 - b. Use tooling agents that are approved in writing by sealant manufacturer and that do not discolor sealants or adjacent surfaces.
 - c. Provide concave joint configuration per Figure 5A in ASTM C 1193, unless otherwise indicated.

3.5 CLEANING-UP

Keep the premises in a neat, safe, and orderly condition at all times during execution of this portion of the Work, free from accumulation of sawdust, cut ends, and debris.

END OF SECTION

SECTION 09 90 00 – PAINTING AND COATING

PART ONE - GENERAL

1.1 DESCRIPTION

1.1.1 Work included: Paint and finish replaced exterior cement board trim and existing cement board paneling, Including, but not limited to those listed on the Drawings and described in these specifications.

1.1.2 Definitions: The term "paint", as used herein, means all coating systems materials including primers, emulsions, epoxy, enamels, sealers, fillers, and other applied materials whether used as prime or finish coats.

1.2 QUALITY ASSURANCE

1.2.1 Qualification of manufacturer: Products used in the work of this Section shall be produced by manufacturers regularly engaged in manufacture of similar items and with a history of successful production acceptable to the Architect.

1.2.2 Qualifications of workmen: Provide at least one person who shall be present at all times during execution of the work of this Section, who shall be thoroughly familiar with the specified requirements and the materials and methods needed for their execution, and who shall direct all work performed under this Section. Provide adequate numbers of workmen skilled in the necessary crafts and properly informed of the methods and materials to be used. In acceptance or rejection of the work of this Section, the Architect will make no allowance for lack of skill on the part of workmen.

1.2.3 Paint coordination: Provide finish coats which are compatible with the prime coats used.

1.3 SUBMITTALS

1.3.1 General: Comply with the provisions of Section 01 33 01.

1.3.2 Manufacturer's data: Provide submittals containing the following information:

- 1) Complete materials list of all items proposed to be furnished and installed under this Section;
- 2) Manufacturer's specifications and other data required to demonstrate compliance with the specified requirements;

- 3) For information only, submit two copies of manufacturer's specifications, including paint analysis and application instructions for each material.

1.3.3 Samples: Submit not less than two "draw down" samples of color and sheen for proposed trim and siding paint. Revise and resubmit each sample as required until the Architect's approval of gloss, color, and texture is achieved.

1.4 PRODUCT HANDLING

1.4.1 Delivery of materials: Deliver all materials to the job site in original, new, and unopened containers bearing the manufacturer's name and label showing at least the following information:

- 1) Name or title of the material, including color name and number;
- 2) Manufacturer's name;
- 3) Contents by volume for major constituents;
- 4) Thinning instructions;
- 5) Application instructions.

1.4.2 Storage of materials: Provide proper storage to prevent damage to, and deterioration of, paint materials.

1.4.3 Protection: Use all means necessary to protect the materials of this Section before, during, and after installation and to protect the work and materials of all other trades.

1.4.4 Replacements: In the event of damage, immediately make all repairs and replacements necessary to the approval of the Architect and at no additional cost to the Owner.

1.5 JOB CONDITIONS

1.5.1 Surface temperatures: Do not apply paint when the temperature of surfaces to be painted and the surrounding air temperature are below 50°F, unless otherwise permitted by the manufacturer's printed instructions.

1.5.2 Weather conditions: Do not apply paint in snow, rain, fog, or mist; or when the relative humidity exceeds 85%; or to damp or wet surfaces; unless otherwise permitted by the manufacturer's printed instructions. Applications may be continued during inclement weather only if the areas and surfaces to be painted are enclosed and heated within the temperature limits specified by the paint manufacturer during application and drying periods. Do not apply paint in areas where dust is being generated.

1.6 EXTRA STOCK

Upon completion of the work of this Section, deliver to the Owner all partially used containers of each color, type, and gloss of paint used. Tightly seal each container and clearly label with the contents and location used.

PART TWO - PRODUCTS

2.1 PAINT MATERIALS

2.1.1 Design is generally based on the use of paint products manufactured by ICI, and the materials of that manufacturer are generally named in the Painting Schedule. Equivalent products of Pittsburgh Paints, Iowa Paints, Pratt & Lambert, Diamond Vogel, Sherwin Williams, or other manufacturers approved by the Architect in advance of the bid opening may be substituted.

2.1.2 General: Provide the best quality grade of the various types of coatings as regularly manufactured by paint materials manufacturers approved by the Architect. Materials not displaying the manufacturer's identification as a standard best-grade product will not be acceptable.

2.1.3 Durability: Provide paints of durable and washable quality. Do not use paint materials which will not withstand normal washing as required to remove pencil marks, ink, ordinary soil, and similar material without showing discoloration, loss of gloss, staining, or other damage.

2.1.4 Colors and glosses: Color is to match existing. The Architect shall be the sole judge of acceptability of the color and gloss match obtained from the materials proposed to be used in the Work.

2.1.5 Undercoats and thinners: Provide undercoat paint produced by the same manufacturer as the finish coat. Use only the thinners recommended by the paint manufacturer, and use only to the recommended limits. Insofar as practicable, use undercoat, finish coat, and thinner material as parts of a unified system of paint finish.

2.1.6 Standards: Provide paint materials which meet or exceed the standards listed for each application in the Painting Schedule in Part Three of this Section.

2.2 APPLICATION EQUIPMENT

2.2.1 General: For application of the approved paint, use only such equipment as is recommended for application of the particular paint by the manufacturer of the particular paint, and as approved by the Architect.

2.2.2 Compatibility: Prior to actual use of application equipment, use all means necessary to verify that the proposed equipment is actually compatible with the material to be applied and that the integrity of the finish will not be jeopardized by use of the proposed application equipment.

2.3 OTHER MATERIALS

All other materials, not specifically described but required for a complete and proper installation of the work of this Section, shall be new, first quality of their respective kinds, and as selected by the Contractor subject to the approval of the Architect.

PART THREE - EXECUTION

3.1 SURFACE CONDITIONS

3.1.1 Inspection: Prior to installation of the work of this Section, carefully inspect the existing surfaces to be painted. Verify that surfaces are clean, dry, smooth and at the proper temperature. Verify that painting may be completed in strict accordance with the original design and with the manufacturer's recommendations.

3.1.2 Discrepancies: Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved.

3.1.3 Acceptance: The application of paint will be construed as the applicator's acceptance of the surface and working conditions.

3.2 MATERIALS PREPARATION

3.2.1 General: Mix and prepare painting materials in strict accordance with the manufacturer's recommendations. No hand mixed paint will be allowed. Store materials not in actual use in tightly covered containers. Maintain containers used in storage, mixing, and application of paint in a clean condition, free from foreign materials and residue.

3.2.2 Stirring: Stir all materials before application to produce a mixture of uniform density, and as required during the application of materials. Do not stir into the material any film which may form on the surface. Remove the film, and, if necessary, strain the material before using.

3.3 SURFACE PREPARATION

3.3.1 General: Perform all preparation and cleaning procedures in strict accordance with the paint manufacturer's recommendations. Remove all removable items which are in place and are not scheduled to receive paint finish, or provide surface applied protection prior to surface preparation and painting operations. Following completion of painting in each space or area, reinstall the removed items.

3.3.2 Cleaning: Clean each surface to be painted prior to applying paint or surface treatment. Remove oil and grease with clean cloths and cleaning solvents of low toxicity and a flash point in excess of 100°F, prior to start of mechanical cleaning. Schedule the cleaning and painting so that dust and other contaminants from the cleaning process will not fall onto wet, newly painted surfaces.

3.3.3 Preparation of surfaces: Clean all surfaces until they are free from dirt, oil, and all other foreign substance. Remove all loose or peeling paint. Take extra care to prep all return edges of trim. Prime all areas of exposed substrate. Notify Architect of any areas too badly deteriorated to hold new paint.

3.4 PAINT APPLICATION

3.4.1 General: Apply each material in strict compliance with the manufacturer's recommendations. Use applicators and techniques best suited for the type of material being applied. Apply each material at not less than the manufacturer's recommended spreading rate, to establish a total dry film thickness as recommended by the manufacturer. Apply additional coats without additional charge, when undercoats, stains or other conditions show through the final coat of paint, until the paint is of a smooth, uniform finish, color and appearance.

3.4.2 Coats: Give special attention to insure that all surfaces, including edges, corners, crevices, welds and exposed fasteners, receive a dry film thickness equivalent to that of flat surfaces.

3.4.3 Prime coats: Apply a prime coat where required. Recoat primed and sealed surfaces where there is evidence of suction spots or unsealed areas in first coat, to assure a finish coat with no burn-through or other defects due to insufficient sealing.

3.4.4 Pigmented (opaque) finishes: Completely cover to provide an opaque, smooth surface of uniform finish, color, appearance and coverage. Cloudiness, spotting, laps, brush marks, runs, sags, or other surface imperfections will not be acceptable.

3.4.5 Drying: Allow sufficient drying time between coats. Modify the period as recommended by the material manufacturer to suit weather conditions. Paints shall be considered dry for recoating when the application of another coat of paint does not cause lifting or loss of adhesion of the undercoat.

3.4.6 Brush or roller application: Brush or roll out and work all coats onto the surfaces in an even film. Laps, brush marks, runs, sags, and other surface imperfections will not be acceptable.

3.4.7 Spray application: Confine spray application to surfaces where hand brush work would be inferior. Wherever spray application is used, apply each coat to provide the equivalent hiding of brush-applied coats. Do not double back with spray equipment for the purpose of building up film thickness of one coat in one pass.

3.4.8 Completed work shall match the approved samples for color, texture, and coverage. Remove, refinish, or repaint all work not in compliance with the specified requirements.

3.5 PAINTING SCHEDULE

3.5.1 General: Painting required under this Section is called for on the Drawings or specified herein. Paint types are defined below and colors shall be as selected by the Architect.

3.5.2 Exterior trim - satin finish: Exterior trim required to receive a satin finish shall include all existing painted surfaces previously painted with the light trim color and shall be finished as follows:

1 prime coat (at bare trim)	ICI Prep & Prime Hydorsealer 6001
1 coat	ICI Dulux Exterior 100% Acrylic 2402 BLK-60, YOX-1P, OXR-4 PER GALLON

3.6 CLEAN-UP AND TOUCH-UP

3.6.1 Clean-up: During the progress of the work, remove from the site all discarded paint materials, rubbish, cans and rags at the end of each work day. Upon completion of painting work, clean window glass and other paint-spattered surfaces. Remove spattered paint by proper methods of washing and scraping, using care not to scratch or otherwise damage finished surfaces.

3.6.2 Touch-up: At the completion of work of other trades, touch up and restore all damaged or defaced painted surfaces.

END OF SECTION

Insurance: **Before starting any work**, the Contractor shall furnish LHA with a certificate of insurance showing the minimum insurance coverage listed below, or greater if required by law, is in force. Contractor shall maintain the specified insurance coverage until all obligations under this Contract are satisfied. Failure to do so shall constitute material breach of this Contract upon which the Owner may immediately terminate the Contract. Insuring company must be lawfully authorized to do business in the State of Nebraska and rated at least A-VII in the current Best Company ratings. Evidence of rating must be provided along with the certificate of insurance. The Contractor's insurance certificate shall list The Housing Authority of the City of Lincoln, its officers, officials, agents, employees and volunteers as Additional Insureds. If, by the terms of this insurance, any mandatory deductibles are required, the Contractor shall be responsible for payment of mandatory deductibles in the event of a paid claim.

1. General Liability:

Each Occurrence	\$1,000,000
Damage to Rented Premises	\$ 0
Medical Expense (Any one person)	\$ 0
Personal & Advertising Injury	\$1,000,000
General Aggregate	\$2,000,000
Products Completed/Operations Aggregate	\$2,000,000
2. Automobile Liability:

Combined Single Limit	\$ 500,000
or	
Bodily Injury (Per person)	\$ 250,000
Bodily Injury (Per accident)	\$ 500,000
Property Damage (Per accident)	\$ 100,000
3. Umbrella Liability/Excess Liability:

Each Occurrence	\$ 0
Aggregate	\$ 0
4. Worker's Compensation & Employer's Liability:

Worker's Compensation	Statutory
E.L. Each Accident:	\$ 500,000
E.L. Disease (Each employee)	\$ 500,000
E.L. Disease (Policy limit)	\$ 500,000